

SECTION 6.9 SIGNS AND ADVERTISING STRUCTURES

SECTION 6.9.1 INTENT AND PURPOSE

- A. The intent of this Section is to regulate the location, size, construction, and manner of display of signs and outdoor advertising in order to minimize their harmful effects on the public health, safety and welfare. While this Section recognizes that signs and outdoor advertising are necessary to promote commerce and public information, failure to regulate them may lead to poor identification of individual businesses, deterioration and blight of the business and residential areas of the township, conflicts between different types of land use, and reduction in traffic safety to pedestrians and motorists.
- B. The regulations contained in this Section involve a recognition that the individual user's right to convey a message must be balanced against the public's right to be free of signs which unreasonably compete, distract drivers and pedestrians, and produce confusion. In balancing the individual user's desire to attract attention with the citizens' right to be free of unreasonable distractions, it is recognized that sign regulations provide business with equal opportunity to attract the public. However, oversized, projecting or crowded signs can lead to pedestrian and driver confusion and distraction, and endanger the public health, safety and welfare.
- C. In addition to the above purposes:
1. Signs should be able to reasonably convey their message;
 2. Users of property should have reasonable freedom to determine the placement, construction, size, and design of signs; and
 3. Sign needs may vary based on zoning districts.
- D. Regulations for signs, especially those related to number, size and placement, are desirable in order to:
1. Prevent or limit traffic or pedestrian accidents, injuries, deaths, and property damages resulting from obstructed vision, distraction or confusion to the public or to emergency safety personnel;
 2. Minimize the risk of damage and injuries from signs that are dilapidated, wind blown, electric shock hazards, etc.;
 3. Achieve some uniformity in the size, number and placement of signs;
 4. Enhance the aesthetics of the community;
 5. Prevent blight;
 6. Encourage equality among business and property, and;
 7. Otherwise protect the public health, safety, peace and general welfare.

6.9.2 DEFINITIONS

The following definitions pertain to signs that are either allowed or prohibited. Additional definitions related to this Section may be found in Article X.

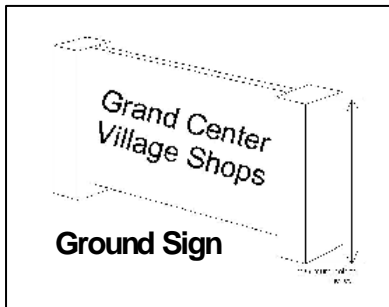
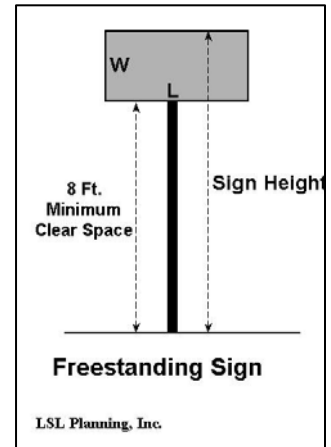
- A. Awning: A retractable or fixed shelter constructed of non-rigid materials on a supporting framework that projects from the exterior wall of a building.
- B. Awning Sign: A sign affixed flat against the surface of an awning.
- C. Balloon sign: A sign composed of a non-porous bag of material filled with air or gas.
- D. Banner sign: A fabric, plastic, or other sign made of non-rigid material without an enclosing structural framework.
- E. Billboard: A sign which relates to or advertises an establishment, product, merchandise, good, service or entertainment which is not located, sold, offered, produced, manufactured or furnished at the property on which the sign is located.
- F. Business Center Sign: Any three (3) or more businesses which meet at least one (1) of the following:
 - 1. Are located on a single parcel of property.
 - 2. Are connected by common walls, partitions, canopies, or other structural members to form a continuous building or group of buildings.
 - 3. Are under one (1) common ownership or management and have a common arrangement for the maintenance of the grounds.
 - 4. Share a common parking area.
 - 5. Otherwise present the appearance of a single, contiguous business area.
- G. Business Event Sign: A sign that relates to or advertises a special event sponsored by a retail, business, institutional or industrial establishment.
- H. Canopy: A freestanding roof-like structure built on one (1) or more support posts designed to offer protection from the weather.
- I. Canopy Sign: A sign painted or attached directly to and parallel to the exterior face of a canopy roof.
- J. Construction Sign: A sign that identifies the owners, financiers, contractors, architects, and/or engineers of a project under construction.
- K. Contractor Sign: A sign that advertises a contractor performing work on site.
- L. Development Entry Sign: A permanent sign identifying or otherwise stating the name of a subdivision, site condominium development, apartment complex, manufactured housing community, business or industrial park, or other similar development.

M. Directional Sign: A permanent sign that gives directions, instructions, or facility information for the use on the lot on which the sign is located, such as a parking, or exit and entrance sign.

N. Freestanding Sign: A sign supported on poles not attached to a building or wall.

O. Government Sign: A temporary or permanent sign erected by Delhi Charter Township, state or federal government or other appropriate governmental agencies.

P. Grand Opening Sign: A sign intended to advertise or draw attention to a business that is new to a particular location.



Q. Ground Sign: A sign resting directly on the ground or supported by short poles not attached to a building or wall.

R. Identification Sign: A sign located on premises, giving the name or address, or both, of the owner or occupant of a building or premises.

S. Incidental Sign: A sign that identifies street address, entrances and exits, safety precautions, identifying logos without text, and other such incidental information, and which sets forth no other advertisement intended to be read from the street.

T. Institutional Sign: A sign upon which is displayed the name of a church, school, library, community center or similar public or quasi-public institution located on the property to announce its services, events, or activities.

U. Memorial Sign: A non-illuminated sign, tablet, or plaque commemorating an historical or significant person, event, structure, or site.

V. Mural: A design or representation painted or drawn on a wall that does not advertise an establishment, product, service, or activity.

W. Placard: A sign, which provides notices of a public nature, such as “No Trespassing” or “No Hunting” signs.

X. Political Sign: A temporary sign used in connection with an official city, village, township, school district, county, state, or federal election, referendum, or public issue.

Y. Portable Sign: A sign designed to be moved easily and not permanently attached to the ground, a structure, or a building.

Z. Projecting Sign: A double-faced sign attached to a building or wall that extends from the face of the building or wall.

AA. Reader Board: A portion of a sign on which copy is changed electronically or manually.

BB. Real Estate Sign: A sign advertising the real estate upon which the sign is located as being for sale, rent, or lease.

CC. Roof Line: The top edge of a roof or parapet wall, whichever is higher, but excluding any cupolas, chimneys, or other minor projections.

DD. Roof Sign: A sign erected above the roofline of a building.

EE. Sign: A device, structure, fixture, or placard that may use graphics, symbols, and/or written copy designed specifically for the purpose of advertising or identifying an establishment, product, service, or activity.

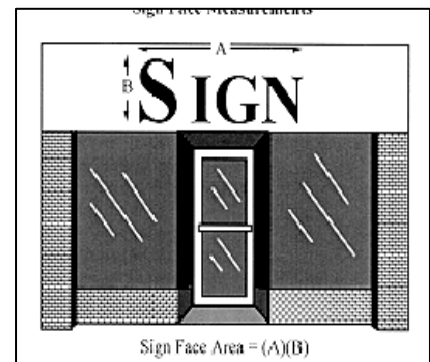
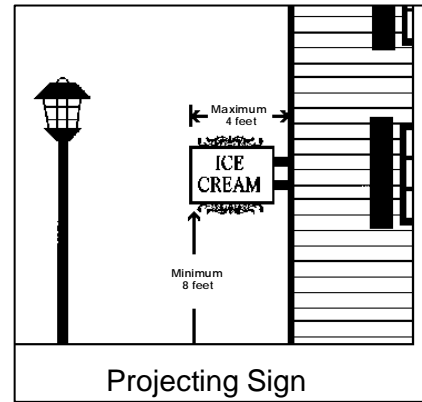
FF. Sign Frame: the structural members of a sign.

GG. Special Event Sign: Temporary and portable signs containing public messages concerning special events sponsored and run solely by governmental agencies or non-profit organizations.

HH. Subdivision Signs: A temporary sign advertising a recorded residential subdivision, residential condominium or residential development.

II. Temporary Sign: A sign not permanently attached to the ground, a structure, or a building. Temporary signs may include banners, portable signs, and any other sign displayed for a limited period of time.

JJ. Trailer Mounted Business Event Sign: A sign that is permanently affixed to a mechanism that is intended to provide mobility to the sign, typically to enable the sign to be towed by a vehicle from one location to another. This sign may or may not have wheels, legs or stabilizers.



Wall Sign

- KK. Wall Signs: A sign painted on, or attached directly to an exterior wall, parallel to and extending no greater than twelve (12) inches from the face of the wall to which it is attached.
- LL. Window Sign: A sign affixed to a window and intended to be viewed from the outside.

SECTION 6.9.3 GENERAL SIGN PROVISIONS

- A. No person shall erect, alter, place or allow to be placed, or replace or any sign without first obtaining a building permit, except as otherwise noted in this Section. Major repairs may also require a building permit if repair work is necessary on the sign structure/frame or electrical elements.
- B. Signs, sign supports, braces, guys and anchors shall be maintained free of peeling paint or paper, fading, staining, rust, or other conditions that impairs legibility or intelligibility or any condition that may cause a hazard. Broken or damaged signs or parts of signs shall be repaired or made safe immediately after the damage occurs.
- C. Illumination
 - 1. Signs may be internally or externally illuminated, except for wall signs for home occupations *and business event signs*, which shall not be illuminated. Illumination shall be only by steady, stationary, shielded light sources using approved electrical devices directed solely at the sign, or internal to it. Use of glaring undiffused lights or bulbs shall be prohibited.
 - 2. Lights shall be directed, shaded and/or shielded downward so as not to project onto adjoining properties or streets.
 - 3. Sign illumination that could distract motorists or otherwise create a traffic hazard shall be prohibited.
 - 4. Illumination by bare bulbs or flames is prohibited.
 - 5. Underground wiring shall be required for all illuminated signs not attached to a building.

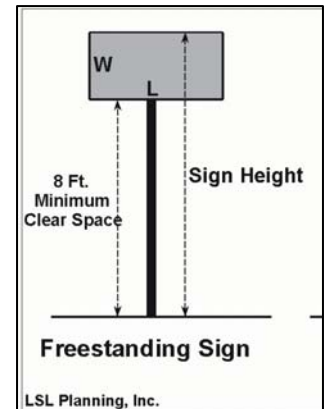
- E. No sign shall be erected, relocated or maintained so as to obstruct or prevent free access to any door, window or fire escape.
- F. No sign shall be placed in, upon or over any public right-of-way, or other public place, except as may be otherwise permitted by this Section, or placed so as to interfere with the visibility or effectiveness of any official traffic sign or signal; driver vision at any access point or intersection; or, pedestrian movement on any public sidewalk.
- G. No light pole, utility pole, or other supporting member shall be used for the placement of any sign unless specifically designed and approved for that use.
- H. No sign shall be erected in any place where it may, by reason of its position, shape, color, or other characteristic, interfere with, obstruct the view of, or be confused with any authorized traffic sign, signal, or device, or constitute a nuisance per se.
- I. Vehicles, which, in the opinion of the Director of Community Development, have the intended function of acting as signs, shall only be parked in approved parking areas in accordance with the requirements of Article VII.
- J. No sign shall contain any moving or animated parts nor have the appearance of having any moving or animated parts. No sign shall employ any flashing, moving, oscillating, blinking, or variable intensity light. However, variable time-temperature signs and intermittent electronic message boards may be permitted, provided that light sources shall not exceed fifteen (15) watts and that each message shall not change more often than once every five (5) seconds.
- K. Wall Signs
 - 1. No wall sign shall be erected to extend above the top of the wall to which it is attached, nor extend beyond the ends of the wall to which it is attached.
 - 2. Signs erected on the vertical portion of a mansard roof are considered to be wall signs.
 - 3. All wall signs shall be safely and securely attached to the building by means of metal anchors, bolts, or expansion screws. In no case shall any wall sign be secured with wire, strips of wood or nails.
- L. No sign shall be erected above the roofline of a building.

M. No obscene message or profanity, as determined by the Director of Community Development, shall be displayed on any sign.

N. Only temporary or permanent signs that direct attention to a business or profession conducted as an allowed use or to a principal commodity, service or entertainment sold or offered as an allowed use upon property where the sign is located are permitted, except where expressly provided otherwise in this Ordinance.

O. Any sign not expressly permitted by this Section is prohibited.

P. Projecting Signs



1. Projecting signs must clear sidewalks by at least eight (8) feet and project no more than four (4) feet from the building or one-third (1/3) the width of the sidewalk, whichever is less.

2. Except for awnings or canopies, projecting signs must be pinned away from the wall at least six (6) inches.

3. Projecting signs are not permitted at the intersection of corners except at right angles to a building front. When a building faces two (2) streets, then one (1) sign per side may be allowed.

4. Projecting signs may extend to the bottom of the eaves of a building.

5. Projecting signs may not extend above the second story.

6. No projecting sign may be displayed unless the building to which it is attached is twenty (20) feet or more in width and no projecting sign may be closer than fifty (50) feet to any other projecting sign.

7. Projecting signs must project at a ninety-degree (90^0) angle to the building surface to which it is attached.

8. Projecting signs shall be attached directly to a building by means of building mounts or having a mast arm. These support members may also include decorative appurtenances, but external bracing such as guy wires and metal framework shall be prohibited.

Canopy signs shall be mounted flat against the canopy face used to calculate allowable area.

All ground, wall and freestanding signs may include reader boards.

Business Event Signs

1. Business event signs shall be obtained by a business from a sign company who has entered into a Business Event Sign Agreement with the Township. A list of sign companies who meet this requirement shall be available from the Community Development Department staff upon request.
2. Sign companies who desire to provide business event signs within Delhi Charter Township shall execute a Business Event Sign Agreement with the Township. The Agreement shall include at least the following provisions:
 - a. The type, dimensions and other specifications of the signs that the sign company proposes to provide and an approval of these specific signs by the Township.
 - b. Acceptance by the sign company of the responsibility for timely removal of the sign and ensuring that the sign is in compliance with all applicable sections of this Ordinance and that any enforcement actions pertaining to the business event sign will be taken by the Township against the provider of the sign.
 - c. Acceptance by the sign company that more than five violations of the Zoning Ordinance pertaining to the businesses event signs shall result in the termination of the Business Event Sign Agreement between the sign company and the Township for a period of at least one (1) year and as many as five (5) years, as determined by the Director of Community Development. This determination shall be based on the following set of criteria:
 1. The number of violations during the Business Event Sign Agreement period:
 - a. Five (5) violations may result in a suspension of at least one year.
 - b. Six (6) violations may result in a suspension of at least two years.
 - c. Seven (7) violations may result in a suspension of at least three years.
 - d. Eight (8) violations may result in a suspension of at least four years.
 - e. More than eight (8) violations may result in a suspension of five years.

2. The extent of the violations in terms of the number of days that the sign company permitted the violation to exist after having been notified by the Community Development Director, or their designee, of the violation.
 - d. That the sign company understands that the Township shall not be limited as to the number of Business Event Sign Agreements that it can enter into and that the Business Event Sign Agreement shall in no way be seen as a mechanism for limiting the number of companies that are able to provide the business event signs within the Township.
 - e. The Agreement shall outline the responsibilities of the Township pertaining to the process for obtaining building permits for the placement of the business event signs.
3. In general, a business event sign shall be setback a minimum of ten (10) feet from any property line. However, in circumstances where this setback would effectively eliminate the ability of the business to reasonably display a business event sign, the Community Development Director may permit reductions in the setback requirement to the extent necessary to enable the effective use of the business event sign, provided that no other section of this Ordinance is negatively affected.
4. In general, a business event signs shall not be permitted to be placed within a parking area. However, in circumstances where this requirement, taken together with Section 6.9.3 (S) (3) above, would effectively eliminate the ability of the business to reasonably display a business event sign, the Community Development Director may permit the use of no more than one parking space within the parking area for the display of a business event sign, provided that no other section of this Ordinance is negatively affected.
5. All business event signs must be no closer than twenty (20) feet to any adjacent business event sign on the same property. The Community Development Director may permit a reduction in this spacing if the requirement can not be complied with without impeding safety or circulation on a property or if the property is configured in such a way as to unreasonably limit the ability to comply with the spacing requirement. The Community Development Director will not reduce the spacing requirement if the sole purpose is to permit more signs in an area that would ordinarily fit taking the spacing requirement into account. The business event sign that received a permit first shall set the precedent for the calculation of the spacing requirement for subsequent signs and shall not be required to relocate.

One business event sign per business is permitted. Business event signs may be displayed for no more than fifteen (15) days every three months. The calculation of the three month time period shall begin on the day after the last day of the preceding permit period for a specific business and end ninety-one (91) days later.

SECTION 6.9.4 EXEMPTED SIGNS

The following signs shall be exempt from the provisions of the Delhi Charter Township Zoning Ordinance.

- A. Flags or insignia of any nation, state, county, community organization, or educational institution (if not more than three (3) such flags are located on the same property), provided that the flags are displayed on a flag pole which does not exceed thirty-five feet in height and is permanently anchored to the ground or a permanent structure.
- B. Government signs.
- C. Historical markers.
- D. Memorial signs, memorial flags or tablets.
- E. Murals.
- F. Placards.
- G. Signs for essential services.
- H. Signs not visible from any street or adjacent property.
- I. Signs on a residence with address, owner, or occupant name of up to two (2) square feet in area attached to a mailbox, light fixture or exterior wall.
- J. Window signs not visible from the street or adjacent property.
- K. Signs for garage, yard, basement, and estate sales, or other similar activities in Residential Districts, provided that any such signs shall not be placed in such a manner as to interfere with the visibility or effectiveness of any official traffic sign or signal; driver vision at any access point or intersection; or, pedestrian movement on any public sidewalk.

SECTION 6.9.5 PROHIBITED SIGNS

The following signs and devices shall be prohibited.

- A. Roof signs.
- B. Signs that displays a message on road furniture, such as benches, pedestrian lights, and decorative trash receptacles.
- C. Banner signs (unless part of and counted toward the area and number of allowed permanent signs), flags (except as otherwise permitted by Section 6.9.4), strings of lights and other similar decorations, unless part of a holiday decoration not associated with any commercial use. Holiday decorations may be displayed for a period not to exceed sixty 60 days.
- D. Balloon signs.
- E. Spotlights, searchlights, blinking lights, flashing lights and other similar lighting.
- F. Portable and/or temporary signs not otherwise permitted by Section 6.9.

- G. Pennants, spinner, streamers and other similar devices.
- H. Any sign not expressly permitted by Section 6.9.

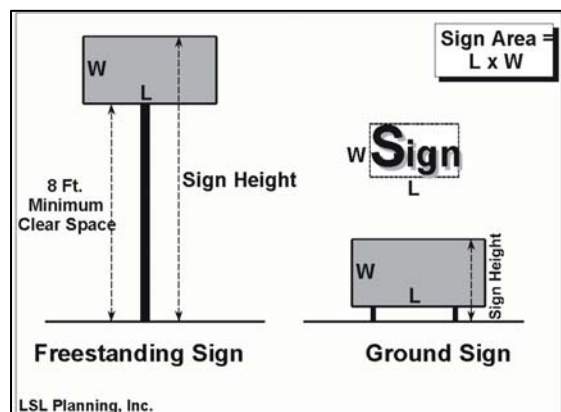
SECTION 6.9.6 NON-CONFORMING SIGNS, ILLEGAL SIGNS, AND SIGNS ACCESSORY TO NON-CONFORMING USES

- A. Every permanent sign that does not conform to the height, size, area, or location requirements of this Section as of the date of the adoption of this Ordinance, is hereby deemed to be non-conforming.
- B. Except as noted in C, below, non-conforming signs may not be altered, expanded, enlarged, or extended; however, non-conforming signs may be maintained and repaired so as to continue the useful life of the sign.
- C. A non-conforming sign may be altered without change to its nonconforming status, provided that the sign replacing the original non-conforming sign results in a sign with a size, setback or dimension that is at least thirty percent (30%) less than the original amount of nonconformity of the sign when it became non-conforming.
- D. The copy of the sign may be amended or changed without jeopardizing the privilege of non-conforming sign as long as no part of the frame or other supporting structure is altered or replaced.
- E. Any non-conforming sign destroyed by fire or other casualty loss shall not be restored or rebuilt if reconstruction will constitute more than fifty percent (50%) of the value of the sign on the date of loss.
- F. Any sign, including non-conforming signs, which for a period of six (6) months or more no longer advertises a bona fide business conducted or product sold shall be removed by the owner of the building, structure, or property upon which the sign is located.

SECTION 6.9.7 SIGN UNITS OF MEASUREMENT

A. Area

The area of a sign shall be expressed in square feet within a single continuous perimeter of straight lines enclosing the extreme limits of a single advertising message of writing, representations, emblems or figures of a similar character, together with all material or color forming an integral part of the display or used to differentiate the sign from the background against which it is placed.



1. If a sign has only one (1) exterior face, the surface display area of that face shall not exceed the specified maximum. If a sign has two (2) exterior faces, the surface display area of each face shall not exceed the specified maximum. If a sign has more than two (2) exterior faces, the sum of the surface area of all the faces shall not exceed twice the specified maximum.
2. The supports, uprights or structure, including decorative elements, such as pillars, brick supports, and other similar structures on which any sign is supported shall not be included in determining the surface display area unless such supports, uprights, structure or decorative elements are designed in such a manner as to form an integral background of the display.
3. The areas of lamps, neon tubing or artificial illumination on walls of any structure shall be counted as part of the total allowable sign area.
4. Only the vertical, flat spaces of a canopy structure (excluding supports) shall be used to calculate total sign area permitted for canopy signs.

B. Height:

1. The height of a sign shall be measured as the vertical distance from the highest point of the sign to the grade of the adjacent street or the average grade of the ground immediately beneath the sign, whichever is lower.
2. Berms or other supporting measures used to increase the height of the sign shall be included in the computation of sign height.

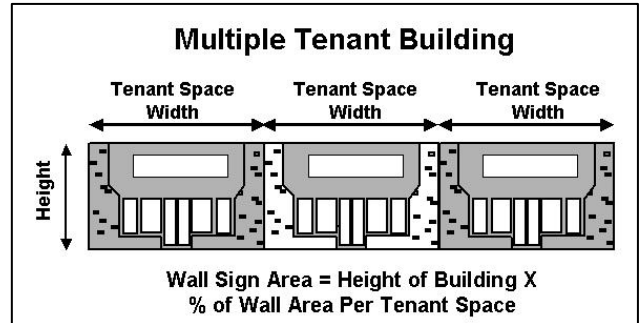
C. Grades:

1. For purposes of this Section, average grade shall mean the ground elevation established for the purpose of regulating the height of the sign.
2. The average grade shall be the level of the ground adjacent to the base of the sign if the finished grade is level or the grade of the adjacent street, whichever is lower. If the ground is not entirely level, the average grade shall be determined by averaging the elevation of the ground within ten (10) feet of the base of the sign.

D. Multiple Tenant Buildings:

1. For buildings with multiple tenants requiring individual signs, the sign areas for wall signs, projecting signs, and awning signs shall be determined by taking that portion of the front wall of the building, applicable to each tenant space, and computing sign requirements for that portion of the total wall.

2. In the case of a corner lot, the wall area adjacent to the tenant space on the second street frontage shall be used to calculate the sign area for a second wall sign, awning sign, or projecting sign.
3. Each sign shall be attached to the same wall used to determine its size.



SECTION 6.9.8 PERMITS REQUIRED

- A. It shall be unlawful to display, erect, relocate, or alter any sign without obtaining a sign permit. The Department of Community Development shall issue a permit only if the proposed sign meets all requirements of the Ordinance.
- B. All signs shall be designed to comply with minimum wind pressure and other requirements set forth in the adopted Building Code. Signs with electrical connections shall comply with Electrical Code requirements, including the application, inspection, and approval of an electrical permit.
- C. The following signs shall not require a sign permit:
 1. Directional signs.
 2. Placards.
 3. Government signs.
 4. Political signs.
 5. Special event signs.
 6. Window signs.
- D. It shall be unlawful to change, modify, alter, or otherwise deviate from the terms or conditions of a sign permit issued by the Township without prior approval of the Department of Community Development. A written record of this approval shall be entered upon the original permit application and maintained in the files of the Township.
- E. The owner or tenant of the property on which the sign is to be located, or his authorized agent, or a sign contractor shall make application for a sign permit. Applications shall be made in writing on forms furnished by the Township and shall be signed by the applicant. The application shall be accompanied by the following plans and other information:
 1. The name, address, and telephone number of the owner or persons entitled to possession of the sign and of the sign contractor or erector.

2. The location by street address of the proposed sign structure.
3. A site plan, elevation drawings and caption of the proposed sign.
4. Plans indicating the scope and structural detail of the work to be done, including details of all connections, guy lines, supports and footings and materials.
5. Application for and required information for the application, an electrical permit for all signs requiring an electrical connection.
6. A statement of valuation.

SECTION 6.9.9 SIGNS PERMITTED BY ZONING DISTRICT

| A. Signs Permitted in All Districts | | |
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| Business Event Signs | | |
| Number | 1 sign (not permitted in residential zoning districts) per business. | |
| Length of Display | A Business Event sign shall not be displayed for longer than 15 calendar days per event and no more often than once every three months as outlined in Section 6.9.3(S)(6). | |
| Size | <p>Trailer Mounted Business Event Sign</p> <ul style="list-style-type: none"> a. Size of trailer and sign frame shall not exceed 7' tall and 8 1/2' wide. b. Two display faces only. c. Each display face is limited to 35 square feet <p>Other Business Event Signs</p> <ul style="list-style-type: none"> a. Maximum height of sign, including frame, shall be 4' tall measured from the ground to the top of the sign. b. Display area, including the frame, shall not exceed 24 square feet on one display face or 12 square feet per side if there are two display faces. Two display faces only. | |
| Location | A minimum of 10 ft. from any property line; see Section 6.9.3 (s)(3) for additional information. | |
| Construction Signs | | |
| Number | 1 per frontage on site | Signs shall not be erected until a building permit has been issued |
| | | Signs shall be removed immediately after 12 months or upon the issuance of any Occupancy Permit or completion of work, whichever occurs first, for the building, structure, or project that is the subject of the construction sign. |
| Size | Maximum of 32 square feet. | |
| Location | A minimum of 10 ft. from any property line and 5 ft. from any sidewalk | |
| Height | 8 ft. | |
| Contractor Sign | | |
| Number | 1 per site (1 per frontage on corner lots) – per contractor | |
| Length of Display | The sign shall not be displayed until work commences and shall be removed within seven (7) calendar days of the completion of the work | |
| Size | 6 sq. ft. | |
| Location | A minimum of 5 ft. from any property line | |
| Height | 3 ft. | |
| Directional Signs | | |

| A. Signs Permitted in All Districts | | |
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| Number | 2 per driveway | |
| Size | 3 sq. ft. | Up to fifty percent (50%) of the area of a directional sign may contain a logo of an on-premise establishment, but no advertising copy, and shall otherwise be limited to traffic control functions only. |
| Location | A minimum of 5 ft. from street right-of-way | |
| Height | 3 ft. | |
| Grand Opening Sign | | |
| Number | One sign per event (prohibited for home occupations) | Temporary grand opening signs may be permitted for a period not to exceed 15 calendar days. Wind blown devices such as pennants, flags, spinners, and streamers are also permitted. Must be requested in writing. |
| Size | No larger than 35 sq. ft. in surface display area per side | |
| Location | Grand opening signs must be located on the same premises as the business. A minimum of 10 ft. from the property line and a minimum of 5 ft. from any sidewalk. | |
| Placard | | |
| Number | Minimum separation of 200 feet on site | |
| Size | Two (2) square feet | |
| Location | A minimum of 5 ft. from any property line | |
| Political Signs | | |
| Number | 1 per candidate or issue | A corner lot is permitted 1 sign per candidate or issue placed on each street frontage |
| Size | 8 sq. ft. | |
| Location | 5 ft. from any property line | Political signs shall be removed within ten (10) days after the official election or referendum to which the sign pertains. |
| Height | 4 ft. | |

| Real Estate Signs | | |
|----------------------------|---|---|
| Number | 1 per lot located on the lot which is the subject of the sign | Real estate signs shall be removed within five (5) days after completion of the sale or lease of the property. A corner lot or through lot is permitted 1 sign placed on each street frontage |
| Size | Residential and multi-family land uses in all districts | 9 sq. ft. |
| | Non-residential land uses in all districts | 16 sq. ft. |
| Location | A minimum of 5 ft. from any property line and/or road right-of-way line. | |
| Height | 8 ft. | |
| Special Event Signs | | |
| Number | 5 per event | The display of the signs shall be limited to the twenty-one (21) days immediately preceding the event and be removed within forty-eight (48) hours of the conclusion of the event that is being advertised. |
| Size | Ground sign shall not exceed 35 sq. ft. and banners erected over the road shall not exceed 75 sq. ft. | |
| Location | A minimum of 10 ft. from any property line. | |
| Height | 5 ft. | |

| B. A-1, PP, R-1A thru R-1E, RM, R-M1 & RM-2 Districts | | |
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| Agricultural Signs (Agriculturally Zoned Properties Only) | | |
| Number | 1 per site | |
| Size | A maximum of 32 sq. ft. The dimension of all signs for special uses in the A-1 district shall not exceed the sign limitation in the C-2 zoning district. | |
| Location | A minimum of 10 ft. from any property line | |
| Height | 5 ft. | |
| Development entry signs for residential subdivisions, site condominiums, manufactured home communities, multiple family complexes, other permitted non-residential uses (except institutional signs) | | |
| Number | 1 per major entrance | |
| Size | 32 sq. ft. | |
| Location | A minimum of 10 ft. from any property line | |
| Height | 5 ft. | |
| Institutional Signs | | |
| Number | 1 per site | |
| Size | 32 sq. ft. | |
| Location | A minimum of 10 ft. from any property line | |
| Height | 5 ft. | |
| Subdivision Signs | | |
| Number | 1 per entrance (on site) | A building permit is required and authorizes use for 4 years or until 90% of lots are sold which ever occurs first. |
| Size | A maximum of 50 sq. ft. | |
| Location | A minimum of 10 ft. from any property line | |
| Height | Not exceeding 20 ft above ground level | |
| Wall Signs (Home Occupations) (See also Section 6.9.3, K) | | |
| Number | 1 per main building | |
| Size | 4 sq. ft. | |

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| B. A-1, PP, R-1A thru R-1E, RM, R-M1 & RM-2 Districts | |
| Location | On wall facing street |
| Height | N/A |
| Wall Signs (Other Uses) (See also Section 6.9.3, K) | |
| Number | 1 per main building (except as permitted in Section 6.9.7, D) |
| Size | 10% of the wall area to which it is attached but not exceeding 2 sq. ft. of sign area per each lineal foot of building wall length |
| Location | On wall facing street |
| Height | N/A |

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| C. C-1, TC Districts | | |
| Canopy Signs | | |
| Number | 1 per main building (except as permitted in Section 6.9.7, D) | |
| Size | 20% of the canopy area to which it is attached | |
| Location | On canopy sign facing street | |
| Height | Signs shall not extend above or below the surface of the canopy to which they are attached. | |
| Ground Signs | | |
| Number | 1 per lot | 1 sign is permitted for each frontage on a corner lot property, provided that the signs are separated by at least 300 ft., as measured along the front property lines. |
| | | No more than 2 signs are permitted for lots with multiple frontages |
| Size | C-1 District | 32 sq. ft. |
| | TC District | 25 sq. ft. |
| Location | Minimum of 10 ft. from any property line | |
| Height | 4 ft. | If set back more than 20 ft. from the street right-of-way line, height may increase to up to 8 ft. |
| Projecting Signs (if no wall sign is present) (See also Section 6.9.3, P) | | |
| Number | 1 per main building | |
| Size | 10% of the wall area to which it is attached, not to exceed 20 sq. ft. | |
| Location | Extending from wall facing street & Section 6.9.3, P. | |
| Height | See Section 6.9.3, P | |
| Wall or Awning Signs (if no projecting sign is present) (See also Section 6.9.3, K) | | |
| Number | 1 per main building (except as permitted in Section 6.9.7, D) | |
| Size | 10% of the wall area to which it is attached but not exceeding 25 square feet | |
| Location | On wall facing street and off-street parking area designated for that building | |
| Height | N/A | |

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| D. C-2, C-3 Districts | | |
| Business Center Signs (unless a freestanding sign or ground sign is located on the same property) | | |
| Number | 1 per lot | 1 sign is permitted for each frontage on a corner lot property, provided that the signs are separated by at least 300 ft., as measured along the front property lines. No more than 2 signs are permitted for lots with multiple frontages. |
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| Size | Business center GFA up to 25,000 sq. ft. | 100 sq. ft. |

| D. C-2, C-3 Districts | | |
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| | Business center GFA more than 25,000 sq. ft. | 100 sq. ft. <u>plus</u> 2 sq. ft. for each full 1,000 sq. ft. of GFA above 25,000 sq. ft., not to exceed 150 sq. ft. |
| | Business center GFA more than 50,000 sq. ft. | 100 sq. ft. <u>plus</u> 50 sq. ft. for each full 25,000 sq. ft. of GFA above 50,000 sq. ft., not to exceed 300 sq. ft. |
| Location | Minimum of 10 ft. from any property line | If a clear space of 8 ft. or greater is not maintained between the bottom of the sign and the ground, the setback shall be increased to 20 ft. |
| Height | 24 ft. | |
| Canopy Signs | | |
| Number | 1 per main building | |
| Size | 20% of the canopy area to which it is attached | |
| Location | On canopy side facing street | |
| Height | Signs shall not extend above or below the surface of the canopy to which they are attached. | |
| Freestanding Signs (unless a business center sign or ground sign is located on the same property) | | |
| Number | 1 per lot | 1 sign is permitted for each frontage on a corner lot property, provided that the signs are separated by at least 300 ft., as measured along the front property lines. |
| | | No more than 1 sign per frontage is permitted for lots with multiple frontages. |
| | | The second sign shall not exceed fifty percent (50%) of the area allowed for the first sign. |
| Size | 66 ft. or less street frontage | 32 sq. ft. |
| | More than 66 ft. street frontage | 32 sq. ft. plus 1 sq. ft. for each lineal foot of street frontage in excess of 66 ft., not to exceed 100 sq. ft. |
| Location | Minimum of 10 ft. from any property line | If a clear space of 8 ft. or greater is not maintained between the bottom of the sign and the ground, the setback shall be increased to 20 ft. |
| Height | 18 feet (Except Business Center Sign over 100 Square feet – 24 ft High) | |
| Ground Signs (unless a business center sign or freestanding sign is located on the same property) | | |
| Number | 1 per lot | 1 sign is permitted for each frontage on a corner lot property, provided that the signs are separated by at least 300 ft., as measured along the front property lines. No more than 1 sign is permitted per frontage for lots with multiple frontages. |
| Size | Same as freestanding sign | |
| Location | Minimum of 10 ft. from any property line | |
| Height | 4 ft. | If set back more than 20 ft. from the street right-of-way line, height may increase to up to 8 ft. |
| Projecting Signs (if no wall sign is present) (See also Section 6.9.3, P) | | |
| Number | 1 per main building | |
| Size | 10% of the wall area to which it is attached but not exceeding 32 square feet | |
| Location | On wall facing street | |
| Height | N/A | |
| Reader Boards | | |
| Number | 1 per site | |

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| D. C-2, C-3 Districts | |
| Size | 20 square feet as part of a permitted Freestanding, Monument, projecting or Wall Sign |
| Hours | 6 a.m. – 11 p.m. or hours of operation |
| Wall or Awning Signs (if no projecting sign is present) (See also Section 6.9.3, K) | |
| Number | 1 per main building (except as permitted in Section 6.9.7, D) |
| Size | 10% of the wall area to which it is attached but not exceeding 32 square feet |
| Location | On wall facing street and off-street parking area designated for that building |
| Height | N/A |

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| E. IW, IR, IA, IM, IP Districts | | |
| Ground Sign or Free-Standing Sign | | |
| Number | 1 per site | |
| Size | 100 sq. ft. | |
| Location | A minimum of 10 ft. from any property line | If setback is increased to 20 ft., ground sign may be increased to 8 ft.' and free-standing signs may have less than 8 ft. of clear space |
| Height | 4 feet for ground signs and 24 ft. for free-standing signs with 8 ft. of free space | |
| Wall Signs (See also Section 6.9.3, K) | | |
| Number | 1 per main building (except as permitted in Section 6.9.7, D) | |
| Size | 20% of the wall area to which it is attached but not exceeding 2 sq. ft. per each lineal foot of building wall length, but in no case exceeding 100 sq. ft. | |
| Location | On wall facing street | |
| Height | N/A | |
| Industrial Park Development Sign | | |
| Number | 1 per entrance | |
| Size | 50 sq. ft. | |
| Location | A minimum of 20 feet from any property line | |
| Height | 8 ft. | |

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| F. PUD & PD Districts | |
| Signs in the PUD District shall adhere to the requirements of the District in which the use to which the sign is referring would first be permitted either as a Use Permitted by Right, Use Permitted Under Special Conditions, or A Use Permitted by Special Use Permit. | |

SECTION 6.9.10 SIGN VARIANCES

- A. The provisions of Article IV, Sections 4.2 and 4.4.3, 3) Rules, apply to requests for sign variances.
- B. The Zoning Board of Appeals shall not consider any request that would authorize any sign, sign structure, or other sign-related activity other than those permitted by this Ordinance;
- C. The Zoning Board of Appeals shall not grant a variance related to any sign allowed by this Section unless it makes findings based upon evidence presented to it that all of the following standards are satisfied or found not to be applicable:

1. The particular physical surrounding shape, topographical, or location conditions of the specific property or structure involved results in an inability to comply with the Ordinance if the strict application of this Section was carried out, as distinguished from a mere inconvenience;
2. That any increased costs associated with maintaining compliance with the Ordinance are not considered as a basis for granting a variance;
3. The need for the variance has not been created by any person having an interest in the sign, sign structure, or property;
4. Construction of a permitted sign would require removal or severe alteration to natural features on the parcel, such as but not limited to: removal of trees, alteration of the natural topography, or obstruction of a natural drainage course.

D. In addition to the required standards of C, above, the Zoning Board of Appeals may consider any of the following and make findings based upon evidence presented to it when reviewing a sign variance:

1. The conditions upon which the petition for a variance is based would not be applicable, generally, to any other property, or structure in the same general area;
2. The variance is the minimum variance that will make possible the reasonable use of the land, building, or structure for sign purposes;
3. The granting of the variance will not be detrimental to the public welfare or injurious to other property or improvements in the area which the sign is located or otherwise endanger the public safety, or substantially diminish or impair property values within the area.
4. The permitted signs could not be easily seen by those for whom it is intended due to the configuration of existing buildings, trees, or other obstructions.
5. A sign that exceeds the allowable height or area requirements of the Ordinance would be more appropriate in scale because of the unusually large size or frontage of the premises or building.